

ADDITION INTO DATATION

Application for Architectural Review Board

* This application must be filled out completely and signed before submittals are placed on the ARB agenda.

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.

Date: 12-7-21

^{*} This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.



architect's rendering

not to scale

abbreviations legend

CONCRETE MASONRY UNIT

FREEZE-PROOF HOSE BIE

abbreviation / meaning		abbreviation / meaning		abbreviation / meaning		abbreviation / meaning		abbreviation / meaning	
AA	ATTIC ACCESS	CO	CASED OPENING	FT	FOOT (or) FEET	0/	ON (or) OVER	•	TONGUE AND GROOVE
AB	ANCHOR BOLT	COL	COLUMN	F TO F	FACE TO FACE	00	ON CENTER	T/	TOP
ABV	ABOVE	CONC	CONCRETE	FTG	FOOTING	OH	OVERHEAD	THK THRU	THICK; THICKNESS THROUGH
AC	AIR CONDITIONING (or)	COND	CONDENSER	FV	FIELD VERIFY	PC	PULL CHAIN	TME	TO MATCH EXISTING
	ALTERNATING CURRENT	CONST	CONSTRUCTION	GB0	GYPSUM BOARD OPENING	PFA	POST FROM ABOVE		
ACOUST	ACOUSTIC	CONT	CONTINUOUS	GC	GENERAL CONTRACTOR	POLY	POLYETHYLENE	TRD	TREAD
ADD	ADDENDUM; ADDITION	CPT	CARPET	GYP	GYPSUM BOARD	PL	PLATE	TYP	TYPICAL
ADH	ADHESIVE	CT	CERAMIC TILE	HD	HIGH DENSITY	PLYMD	PLYMOOD	UNO	UNLESS NOTED OTHERWISE
LDA	ADJUSTABLE	DBL	DOUBLE	HDR	HEADER	PLAM	PLASTIC LAMINATE	V VAN	VOLT VANITY
AF	ABOVE FLOOR	DEMO	DEMOLITION	HGHT	HEIGHT	PLUMB	PLUMBING	VAN	VERTICAL
AFF	ABOVE FINISHED FLOOR	DIA	DIAMETER	HORIZ	HORIZONTAL	PREFAB		VIF	VERIFY IN FIELD
AGGR	AGGREGATE	DL	DEAD LOAD	HRDMR	HARDWARE	PSF	POUNDS PER SQUARE FOOT	W/	WITH
ALUM	ALUMINUM	DN	DOWN	HM	HARDWOOD HEATING, VENTILATION	PSI	POUNDS PER SQUARE INCH	M/O	MITHOUT
AMP ANCH	AMPERE ANCHOR	DR	DOOR	HVAC	AND AIR CONDITIONING	PVC	POLYVINYL CHLORIDE	MD	MOOD
	APPROXIMATE	DS	DOWNSPOUT	INSUL	INSULATION	QTY	QUANTITY	MDM	MINDOM
ATTEN	ATTENUATION	DTL	DETAIL	IN	INCH	R	RISER	MH	MATER HEATER
B/	BOTTOM	DV	DIRECT VENT	IJS	IN JOIST SPACE	REBAR	REINFORCEMENT BAR	MIC	MALK-IN CLOSET
В <i>0</i> Т	ВОТТОМ	DM	DRYMALL	JST	JOIST	RECEPT	RECEPTACLE	MRB	MEATHER RESISTIVE BARRIE
BLKG	BLOCKING	DMO	DRYMALL OPENING	LIN	LINEN	REF	REFRIGERATOR	MMF	MELDED MIRE FABRIC
BLM	BELON	EA	EACH	LH	LEFT HAND	REINF	REINFORCE		
ВМ	BEAM	EB	EXPANSION BOLT	LL_	LOWER LEVEL; LIVE LOAD	REQD	REQUIRED		
BP	BEAM POCKET	EE	EACH END	LT	LIGHT	RO	ROUGH OPENING		
BPL	BEARING PLATE	EJ	EXPANSION JOINT	LTG	LIGHTING	R/SH	ROD AND SHELF		
BR	BEDROOM	ELEC	ELECTRIC	LNTL	LINTEL LIGHTNING	SC	SOLID CORE		
BRG	BEARING	ENG	ENGINEERED	LTNG MARB	MARBLE	SF	SQUARE FEET		
BRDG	BRIDGE, BRIDGING	EQUIP EM	EQUIPMENT EACH WAY	MATL	MATERIAL	SHTG	SHEATHING		
BRG	BEARING	EXT	EXTERIOR	MAX	MAXIMUM	SIM	SIMILAR		
CC	CENTER TO CENTER	EXIST	EXISTING		1/1000 OF AN INCH	SPG	SPACING		
CF	CUBIC FEET	FD	FLOOR DRAIN	MIL		SQ	SQUARE		
CJ Ol	CONTROL JOINT	FDN	FOUNDATION	ML	MICROLAM	55	STAINLESS STEEL		
		FIN	FINISH	MIN	MINIMUM	STL	STEEL		
CJ	CEILING JOIST CEILING	FIXT	FIXTURE	MFGR	MANUFACTURER	STD	STANDARD		
CLG	CALLEING	FLR	FLOOR	MLDG	MOULDING	STRUCT	STRUCTURAL		

SMITCH TAND B TOP AND BOTTOM

TO BE REMOVED

TEMPERED

a new pool house for a single family residence known as:

the Hoffman residence

location:

1 wood acre rd ladue, missouri 63124

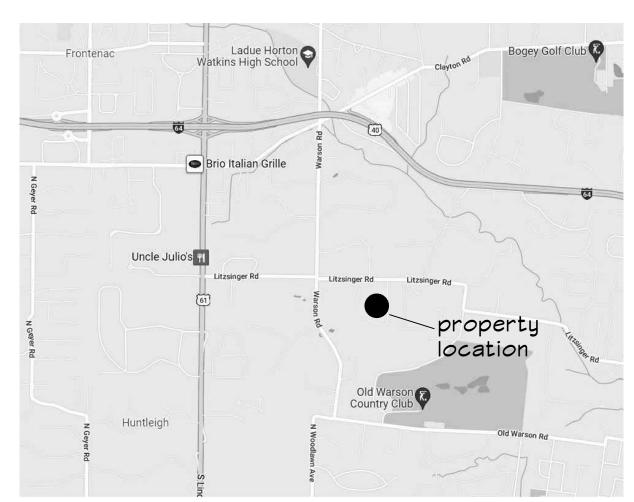
project architect

STOTE & COMPANY architects | interiors | planners

2900 south brentwood boulevard brentwood, missouri 63144 phone: 314.822.7006

toll free: 855.359.3516 website: www.sroteco.com

vicinity map



code information

LIVII
2015 International Residential Code
2015 International Energy Conservation Code
2015 International Mechanical Code
2015 International Fuel and Gas Code
2015 Uniform Plumbing Code
2014 National Electrical Code
Zoning, Building, Mechanical & Plumbing - City of Ladue
Electrical - St Louis County
_
Ladue Fire Department
"A" - Residential
128,914 square feet / 2.959 acres

floor area calculations

	448 square
first floor area:	
	803 square
total floor area:	

sheet index

	T-1	Title Sheet
 8	N-1 N-2	Specifications Specifications
e e e e e e e e e e e e e e e e e e e	A-1 A-2 A-3 A-4 A-5 A-6 A-7	Finished Lower Level Plan Main Level & Roof Plans Exterior Elevations Details Details Details Braced Wall Details
<u> </u>	S-1 S-2	Foundation Plan Main Level & Roof Framing Plans

nissouri certificate of authority

1 wood acre rd

Greg & Beth

1 wood acre 63124

description

drawn by: ras/kjn checked by:

total pages in set:

architect's seal:

robert anthony srote - architect

wall legend

typical insulation / air sealing notes

ALL INSULATION TO MEET GRADE 1 INSTALLATION REQUIREMENTS: NO FULL THICKNESS VOIDS, NO COMPRESSION OF BATT INSULATION (SPLICE AT WIRES/PIPES, CUT OUT AROUND JUNCTION BOXES, ETC) AND BLOWN INSULATION INSTALLED AT DENSITY RECOMMENDED BY MANUFACTURER SPECIFIC TO EACH APPLICATION (WALL, ATTIC, ETC)

MINIMUM INSULATION R-VALUES:

SLAB FLOOR -

CEILINGS -

FRAME WALLS - R-20 FRAME FLOOR - R-19 (SECURE IN CONTACT WITH SUBFLOOR ABOVE) R-10 CONTINUOUS OR R-13 AT FURRING CAVITY FOUNDATION -

- MINIMUM R-3 INSULATION AT MINDOM AND EXTERIOR DOOR HEADERS - MINIMUM R-6 INSULATION AT ALL EXTERIOR WALL CORNERS - MAINTAIN MINIMUM WALL INSULATION R-VALUE AT INTERIOR / EXTERIOR WALL INTERSECTIONS; SEE DETAIL 4/A-5

R-10; 24" DEEP AT EXPOSED EDGES

MINIMUM 22"x30" ATTIC ACCESS PANEL; INSULATION (R-VALUE TO MATCH ADJACENT CONSTRUCTION) TO BE SECURELY FASTENED TO ATTIC SIDE OF PANELS; INSTALL CONTINUOUS PERIMETER GASKET TO PRODUCE CONTINUOUS AIR SEAL WHEN NOT ACCESSING ATTIC; INSTALL PERMANENT PLYWOOD DAM AROUND CEILING OPENINGS TO HOLD BACK LOOSE FILL ATTIC INSULATION

AIR SEAL FOLLOWING LOCATIONS WITH SPRAY FOAM OR CAULK:

- PARTITION TOP PLATE / DRYWALL CEILING JOINTS (ATTIC ABOVE) - PENETRATIONS IN PARTITION TOP PLATES (ATTIC ABOVE) - ROUGH OPENING AT WINDOMS AND DOORS (LOW EXPANSION SEALANT) - EXTERIOR WALL BOTTOM PLATE / SUBFLOOR JOINT

INSTALL DURABLE SHEATHING MATERIAL (DRYWALL, THERMO PLY. PLYWOOD, ETC) TO MAINTAIN ALIGNMENT OF INSULATION AND AIR BARRIER AT DROPPED CEILINGS/SOFFITS, CHASES, BEHIND TUB/SHOWER FIXTURES AND AT ATTIC KNEE WALLS

MAXIMUM WHOLE HOUSE INFILTRATION RATE - 4.0 ACH50; VERIFY UTILIZING BLOWER DOOR TEST

lower level interior finish notes

ALL DOORS OF THIS FLOOR LEVEL ARE TO BE 1-3/4" THICK X 96" HIGH X WIDTH ON PLAN; SOLID WOOD; VERIFY STYLE W/ OWNER

(4) FULL MORTISE, BALL BEARING HINGES AT EACH DOOR; OWNER TO SELECT FINISH; VERIFY HINGE LOCATIONS IN FIELD TO CLEAR OBSTRUCTIONS

TYPICAL MINDOW/DOOR CASING: 3-1/2" M x 3/4" THICK STOCK; SOLID MOOD; VERIFY PROFILE AND FINISH MITH OWNER

7-1/4" H x 3/4" THICK STOCK MITH BASE SHOE; SOLID MOOD; VERIFY

PROFILE AND FINISH WITH OWNER

POCKET DOOR FRAME:

POCKET DOORS IN 2x6 STUD WALL USING 'JOHNSON HARDWARE' 2060 SERIES (2000 SERIES FOR 2x4 STUD WALL) HEAVY DUTY FRAMES WITH STEEL FURRING (MIN 400 LB DOOR CAPACITY)

lower level mechanical room notes

PROVIDE SOUND BATT INSULATION IN ALL SURROUNDING WALLS AND FLOOR BELOW; "ROCKMOOL" 'SAFE-N-SOUND' BATTS OR EQUAL

OPTIONAL: INSTALL 1/2" THICK HOMASOTE SOUND BOARD UNDER SYPSUM BOARD FOR ADDITIONAL SOUND CONTROL

INSTALL WEATHERSTRIPPING AND SWEEP AT DOOR FOR SOUND CONTROL

SEE TYPICAL MECHANICAL/HVAC DESIGN NOTES ON SHEET A-1; MECHANICAL CONTRACTOR ALSO REFER TO ARCHITECT'S SPECIFICATION SHEETS N-1 AND N-2 FOR ADDITIONAL DESIGN REQUIREMENTS PRIOR TO SUBMITTING BID AND FINAL DESIGN / SHOP DRAWINGS

SEE MECHANICAL CONTRACTOR SHOP DRAWINGS FOR UNIT SPECIFICATIONS, SIZING CALCULATIONS, DUCTWORK LAYOUT AND COMBUSTION AIR REQUIREMENTS AS NEEDED

thermal enclosure partition (insulate & air seal) sound insulated partition masonry veneer cmu

typical finished lower level notes

INSTALL SILL SEAL BENEATH ALL FRAME PARTITIONS

ALL FLOOR JOIST CAVITIES LOCATED DIRECTLY ABOVE ANY WALL SEPARATING A FINISHED AREA FROM AN UNFINISHED AREA ARE TO BE FILLED SOLID WITH MINERAL WOOL OR COMPLETELY FIREBLOCKED WITH

DRAFTSTOPPING

CEILINGS SUSPENDED BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT STOPPED AT 1000 SF MAXIMUM INTERVALS PARALLEL TO MAIN FRAMING MEMBERS; SEE DETAIL 2/A-1

FIREBLOCKING REQUIRED AROUND VENT. PIPE AND DUCT PENETRATIONS OF CEILINGS AND FLOORS AND AT HORIZONTAL INTERVALS NOT EXCEEDING 10'-0" WHEN A FRAMED WALL IS SET AWAY FROM THE FOUNDATION WALL

CEILING HEIGHTS TO BE DETERMINED BY EXTENT OF DUCTWORK, STEEL BEAMS, ETC; 7'-0" MINIMUM CEILING HEIGHT

BEAMS AND GIRDERS (DECORATIVE OR STRUCTURAL) SPACED NOT LESS THAN 4'-0" ON CENTER MAY PROJECT A MAXIMUM OF 6" BELOW THE 7'-0" REQUIRED CEILING HEIGHT CEILINGS IN BASEMENTS WITHOUT HABITABLE SPACES MAY PROJECT TO WITHIN 6'-8" OF THE FINISHED FLOOR AND BEAMS, GIRDERS, DUCTS OR OTHER OBSTRUCTIONS MAY PROJECT WITHIN 6'-4" OF THE FINISHED FLOOR

typical mechanical / hvac design notes

HEATING AND COOLING LOADS TO BE DETERMINED UTILIZING ACCA MANUAL J ROOM BY ROOM CALCULATION

EQUIPMENT TO BE SIZED UTILIZING ACCA MANUAL S; EVAPORATOR COIL AND CONDENSOR MUST MATCH AS REQUIRED FOR AHRI CERTIFICATE TO BE PROVIDED TO HOMEOWNER; COOLING CAPACITY TO BE MAXIMUM 160% OF CALCULATED TOTAL COOLING LOAD; HEATING CAPACITY TO BE MAXIMUM 400% OF HEATING LOAD

DUCT SYSTEM TO BE DESIGNED UTILIZING ACCA MANUAL D; NO BUILDING CAVITIES TO BE USED AS SUPPLY OR RETURN DUCTWORK; ALL DUCTMORK IN UNCONDITIONED SPACE TO HAVE MINIMUM R-8 INSULATION; SEAL JOINTS IN ALL DUCTMORK (CONDITIONED AND UNCONDITIONED SPACES) WITH MASTIC (NO FOIL TAPE): SEAL REGISTER BOOTS TO SUBFLOOR OR DRYWALL; ANY FLEXIBLE DUCTWORK MUST BE INSTALLED MITHOUT KINKS, SHARP BENDS, COMPRESSION OR EXCESSIVE COILING; ALL BEDROOMS TO BE PRESSURE BALANCED (DEDICATED RETURN DUCT, TRANSFER GRILL, JUMP DUCT, ETC)

AIR CONDITIONERS TO HAVE MINIMUM 13 SEER; GAS FURNACES TO HAVE MINIMUM 90 AFUE WITH COMBUSTION AIR SUPPLIED FROM OUTDOORS

ALL AIR HANDLERS TO UTILIZE ECM MOTORS AND MINIMUM MERV 6 FILTER WITH GASKETED ACCESS PANEL

NSTALL WHOLE HOUSE MECHANICAL VENTILATION WITH READILY ACCESSIBLE AND CLEARLY LABLED CONTROLS; VENTILATION RATE TO

BE DETERMINED UTILIZING ASHRAE 62.2-2010 OR NEWER ALL THERMOSTATS TO BE PROGRAMMABLE AND COMMUNICATING

ALL BATHROOM EXHAUST FANS TO BE ENERGY STAR CERTIFIED; MINIMUM

INSTALLED AIRFLOW RATE OF 50 cfm (NOT JUST RATED FOR 50 cfm) ALL KITCHEN EXHAUST SYSTEMS TO HAVE MINIMUM INSTALLED 100 cfm

MINIMUM SYSTEM COMMISIONING:

- REFRIGERANT CHARGE: ±3°F (TXV) OR ±5°F OF DESIGN VALUE

- AIR HANDLER AIRFLOM: ±15% OF DESIGN RATE - WHOLE HOUSE VENTILATION: ± 15 cfm OR $\pm 15\%$ OF DESIGN RATE - ROOM BY ROOM AIR BALANCING: ±20% OR ±25 cfm OF DESIGN AIRFLOW - DUCT LEAKAGE TO OUTDOORS: MAXIMUM 4 cfm25 PER 100 sf - TOTAL DUCT LEAKAGE: FINAL TEST - MAXIMUM 8 cfm25 PER 100 sf

> ROUGH-IN TEST (AIR HANDLER AND ALL DUCTS INSTALLED; DUCT BOOTS SEALED TO FINISHED SURFACES) - MAXIMUM 4 cfm25 PER 100 sf

SEE MECHANICAL CONTRACTOR FOR FINAL DESIGN

AIRFLOW RATE (NOT JUST RATED FOR 100 cfm)

olumbing design notes

KEEP ALL VERTICAL PLUMBING DROPS AGAINST EXTERIOR WALLS AND/OR INSIDE FINISHED PARTITIONS AS MUCH AS POSSIBLE; NOTIFY GENERAL CONTRACTOR FOR COORDINATION PRIOR TO INSTALLATION

PROVIDE ACCESS PANELS TO UTILITIES IN FINISHED AREAS

GAS MATER HEATERS TO BE POWER VENTED MITH MINIMUM ENERGY FACTOR (EF) AS FOLLOWS: 50 GALLON - 0.59; 70 GALLON - 0.55;

SEE PLUMBING AND MECHANICAL CONTRACTORS FOR FINAL DESIGN



telephone: 314.822.7000 toll free: 855.359.3516 website: www. sroteco.com

brentwood, missour

missouri certificate of authority 2013000205

srote & company, llc

project / location:

a single family residence pool house

1 wood acre rd ladue, missouri

63124

1 wood acre ladue. missouri 63124

builder / developer:

description

ovember 29, 2021

ras/kjn

construction documents

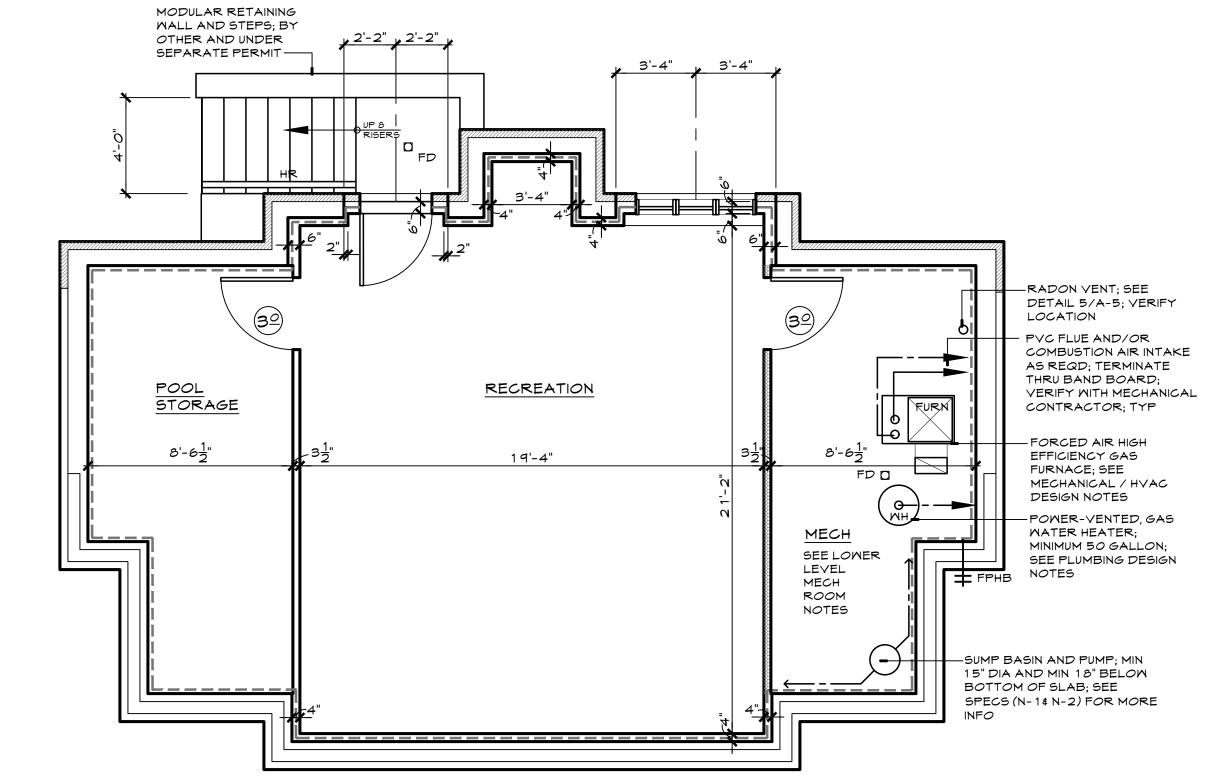
inished lower level plan drawn by:

checked by:

total pages in set:

architect's seal:

robert anthony srote - architect A-2020040052 e professional architect's seal affixed to this sheet applies or e material and items shown on this sheet. all draw



typical draftstopping/bulkhead detail

DRAFTSTOP CEILING AS REQD; SEE SPECS

SHEET N-1 AND TYP DTL

ROCKMOOL FIRE STOP AS REQD

1/2" GYP BD CEILING; LEVEL 4 FINISH

ALLOW FOR FLOOR JOIST BEARING

FROM FDN WALL TO STRAIGHTEN

1/2" GYP BD AT WALLS; LEVEL 4 FINISH

1 INSTALLATION

(3) typical lower level furring detail

HVAC PLENUMS AND RUNOUTS -

1/2" GYP BD DRAFTSTOPPING

7'-0" MINIMUM HEADROOM AT

GYP BD CEILING (LEVEL 4 FINISH

STANDARD UNO AT PLANS) —

SEE MECHANICAL CONTRACTOR

SHOP DRAWING FOR MORE INFO -

REQD AT 500 SF INTERVALS AND PARALLEL TO FRAMING MEMBERS

RECREATIONAL ROOMS, LAUNDRY

ROOMS, HALLWAYS AND BATHROOMS

7'-6" MINIMUM HEADROOM ALL OTHER ROOMS

6'-8"MINIMUM HEADROOM BELOW DUCTWORK

2x4 LADDER FRAMING (SOFFIT SUPPORT) AS REQD

ALL OTHER INFORMATION

TYP LL FURRING CONDITION:

2X4 TOP PLATE; LEAVE SPACE ABOVE TO NOT

2×4 STUDS AT 16" OC; HOLD OUT 1/2" NOMINAL

SEE TYPICAL TOP OF FOUNDATION DETAIL FOR

MIN R-13 UNFACED BATT WALL INSULATION; GRADE

TYPICAL FLOOR

FRAMING CONDITION-

scale: 1" = 1'-0"

scale: 1/4" = 1'-0'

42" M MASONRY FIREPLACE M/ RAISED HEARTH; SEE DTLS SHT A/6-7'-1" —42" H. BATHROOM NOTES #_PARTITION LOUNGE BELOW TATTIC ACCESS CEILING PANEL; SEE TYP INSUL/AIR SEALING NOTES DRESSING BENCH W/ TOWEL FREEZE Q HOOKS ABY AND PROOF STORAGE BELOW SHOWER HEAD M/ SHUT OFF 3'-8" 1*0*'-1*0*" 6'-0" 38'-8"

∖ roof plan

gutter and downspout note

INSTALL 6" OGEE PROFILE PREFINISHED ALUMINUM GUTTERS WITH 3" \times 4" RECTANGULAR DOWNSPOUTS AS REQUIRED PER STANDARD INDUSTRY PRACTICE; CONNECT DOWNSPOUTS BELOW GRADE IN A DRAIN TILE AT PERIMETER OF HOUSE AND "DAYLIGHT" IN AN APPROVED MANNER

cornice / truss heel note

INSTALL SMOOTH 'HARDIESOFFIT' PANELS (CONTINUOUS SCREENED VENT AT EAVES; UNVENTED AT RAKES); SEE TYPICAL CORNICE DETAILS

REFER TO EXTERIOR ELEVATIONS AND TYPICAL CORNICE DETAILS FOR MORE INFORMATION AS TO TRUSS HEEL HEIGHTS AND ANY OTHER CORNICE INFORMATION

typical roof shingle note

INSTALL MINIMUM 30 YEAR WARRANTY ARCHITECTURAL STYLE ASPHALT ROOF SHINGLES; INSTALL PER MANUFACTURER SPECIFICATIONS AS REQUIRED FOR FULL WARRANTY PROTECTION; VERIFY COLOR AND STYLE WITH OWNER

typical roof flashing notes

INSTALL PREFINISHED ALUMINUM FLASHING OVER 30 Ib ROOFING FELT OVER "ICE AND WATER SHIELD" ADHESIVE BACKED UNDERLAYMENT AT ALL ROOF VALLEYS

INSTALL APPROVED FLASHING WITH "KICK-OUTS" AT BOTTOM END OF RUN AT ALL ROOF/WALL AND ROOF/CHIMNEY INTERSECTIONS

BOOT / COLLAR FLASHING AT ALL ROOF PENETRATIONS

typical roof sheathing / overframing note

FRAMING CONTRACTOR TO OMIT/REMOVE AS MUCH ROOF SHEATHING AS POSSIBLE AT OVERFRAMING AREAS MITHIN A SINGLE ATTIC VENTILATION ZONE; FULL ROOF SHEATHING TO REMAIN AT OVERFRAMING AREAS SEPARATING ATTIC VENTILATION ZONES; VERIFY WITH TRUSS DESIGNER

attic ventilation note:

REQUIRED VENTILATION BASED ON 1/300 OF ATTIC AREA METHOD; PROVIDE AT LEAST 50% OF THE REQUIRED ROOF VENTILATION IN THE UPPER PORTION OF THE VENTED SPACE; NO MORE THAN 3'-0" BELOW THE HIGHEST POINT OF THE VENTED SPACE; PROVIDE AT LEAST 50% OF THE REQUIRED ROOF VENTILATION AT EAVE OR CORNICE VENTS

typical ridge vent note

RIDGE VENT DIMENSIONS SHOWN ARE MINIMUM VALUES ONLY; ENTIRE LENGTH OF RIDGES WITH VENTS SHOWN TO BE VENTED PER MANUFACTURER SPECIFICATIONS; RIDGES WITH NO VENT SHOWN ARE TO BE COMPLETELY UNVENTED; NOTIFY ARCHITECT IF MINIMUM RIDGE VENT LENGTHS CANNOT BE INSTALLED PER MANUFACTURER SPECIFICATIONS

roof venting requirements	3:			
TOTAL ATTIC AREA			975 50 F1	
REQUIRED VENTING AREA		3.25saF1		
REQD VENTING AREA IN S	4685QIN			
INTAKE VENTING REQUIRE REQUIRED VENTING AREA (IN SQ IN) X .5	NTAKE VENTING REQUIREMENTS REQUIRED VENTING AREA (IN 5Q IN) x .5			
EXHAUST VENTING REQUIREMENTS REQUIRED VENTING AREA (IN 5Q IN) x .5			2345QIN	
PROVIDED INTAKE VENTI		NET FREE ARE	840 5Q IN A LISTED	
DESCRIPTION	NET FREE AREA	PROVIDED	TOTAL	
"COR-A-VENT" 5-400 STRIP VENT	10 sq in per lin ft	84 lin ft	840 sq in	
PROVIDED EXHAUST VENTING 2525G MFGR SUBSTITUTIONS MUST BE EQUAL TO OR GREATER THAN NET FREE AREA LISTED				
DESCRIPTION	NET FREE AREA	PROVIDED	TOTAL	
"AIR VENT INC" 'SHINGLEVENT II'	18 sq in	14 lin ft		

main level plan scale: 1/4" = 1'-0"

wall legend thermal enclosure partition (insulate & air seal) sound insulated partition masonry veneer cmu

typical first floor bathroom notes

INSTALL CAST SHOWER BASE UNIT; INSTALL SHOWER HEAD AT 84" ABOVE FINISH FLOOR; INSTALL CERAMIC TILE OVER CEMENT BOARD BACKER AT WALLS TO SOFFIT; FRAME SOFFIT TO 96" ABOVE FINISH FLOOR; INSTALL TYPE II TEMPERED GLASS, FRAMELESS ENCLOSURE AND DOOR

PROVIDE SOUND BATT INSULATION IN ALL SURROUNDING WALLS AND FLOORS ABOVE AND BELOW; "ROCKMOOL" 'SAFE-N-SOUND' BATTS OR EQUAL

VANITY HEIGHTS TO BE AT 36" ABOVE FINISH FLOOR; SEE CABINET

SUPPLIER SHOP DRAWINGS FOR ALL OTHER INFORMATION INSTALL FRAMED MIRRORS AS SELECTED BY OWNER

SEE OWNER FOR FINAL FIXTURE SELECTIONS

first floor interior finish notes

ALL DOORS OF THIS FLOOR LEVEL ARE TO BE 1-3/4" THICK X 84" HIGH X WIDTH ON PLAN; SOLID WOOD; MATCH DOORS AT HOUSE (VERIFY W/ OWNER

(3) FULL MORTISE, BALL BEARING HINGES AT EACH DOOR; OWNER TO SELECT FINISH; VERIFY HINGE LOCATIONS IN FIELD TO CLEAR OBSTRUCTIONS

3-1/2" M x 3/4" THICK STOCK; SOLID WOOD; VERIFY PROFILE AND FINISH MITH OMNER

TYPICAL BASE BOARD: 7-1/4" H x 3/4" THICK STOCK WITH BASE SHOE; SOLID WOOD; VERIFY

PROFILE AND FINISH WITH OWNER

POCKET DOOR FRAME: POCKET DOORS IN 2X6 STUD WALL USING 'JOHNSON HARDWARE' 2060 SERIES (2000 SERIES FOR 2x4 STUD WALL) HEAVY DUTY FRAMES WITH STEEL FURRING (MIN 400 LB DOOR CAPACITY)

typical insulation / air sealing notes

ALL INSULATION TO MEET GRADE 1 INSTALLATION REQUIREMENTS: NO FULL THICKNESS VOIDS, NO COMPRESSION OF BATT INSULATION (SPLICE AT WIRES/PIPES, CUT OUT AROUND JUNCTION BOXES, ETC) AND BLOWN INSULATION INSTALLED AT DENSITY RECOMMENDED BY MANUFACTURER SPECIFIC TO EACH APPLICATION (WALL, ATTIC, ETC)

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MINIMUM INSULATION R-VALUES:

CEILINGS -FRAME WALLS - R-20

FRAME FLOOR - R-19 (SECURE IN CONTACT WITH SUBFLOOR ABOVE) FOUNDATION - R-10 CONTINUOUS OR R-13 AT FURRING CAVITY SLAB FLOOR - R-10; 24" DEEP AT EXPOSED EDGES

- MINIMUM R-3 INSULATION AT WINDOW AND EXTERIOR DOOR HEADERS - MINIMUM R-6 INSULATION AT ALL EXTERIOR WALL CORNERS - MAINTAIN MINIMUM WALL INSULATION R-VALUE AT INTERIOR / EXTERIOR WALL INTERSECTIONS; SEE DETAIL 4/A-5

MINIMUM 22"X30" ATTIC ACCESS PANEL; INSULATION (R-VALUE TO MATCH ADJACENT CONSTRUCTION) TO BE SECURELY FASTENED TO ATTIC SIDE OF PANELS; INSTALL CONTINUOUS PERIMETER GASKET TO PRODUCE CONTINUOUS AIR SEAL WHEN NOT ACCESSING ATTIC; INSTALL PERMANENT PLYMOOD DAM AROUND CEILING OPENINGS TO HOLD BACK LOOSE FILL ATTIC INSULATION

AIR SEAL FOLLOWING LOCATIONS WITH SPRAY FOAM OR CAULK:

- PARTITION TOP PLATE / DRYWALL CEILING JOINTS (ATTIC ABOVE) PENETRATIONS IN PARTITION TOP PLATES (ATTIC ABOVE) - ROUGH OPENING AT MINDOMS AND DOORS (LOM EXPANSION SEALANT) - EXTERIOR WALL BOTTOM PLATE / SUBFLOOR JOINT

INSTALL DURABLE SHEATHING MATERIAL (DRYMALL, THERMO PLY, PLYWOOD, ETC) TO MAINTAIN ALIGNMENT OF INSULATION AND AIR BARRIER AT DROPPED CEILINGS/SOFFITS, CHASES, BEHIND TUB/SHOWER FIXTURES AND AT ATTIC KNEE WALLS

MAXIMUM WHOLE HOUSE INFILTRATION RATE - 4.0 ACH50; VERIFY UTILIZING BLOWER DOOR TEST

ARCHITECTS | PLANNERS | INTERIORS

2900 south brentwood blvd brentwood, missou

telephone: 314.822.7000 toll free: 855.359.3510 website: www. sroteco.com

srote & company, llc missouri certificate of authority 2013000205

project / location: a single family residence

1 wood acre rd ladue, missouri

pool house

Hoffmann 1 wood acre ladue. missouri

63124

builder / developer:

scale: 1/4" = 1'-0"

description

issue date: **november 29, 2021**

construction documents

sheet title: main level & roof plans

ras/kjn

checked by:

drawn by:

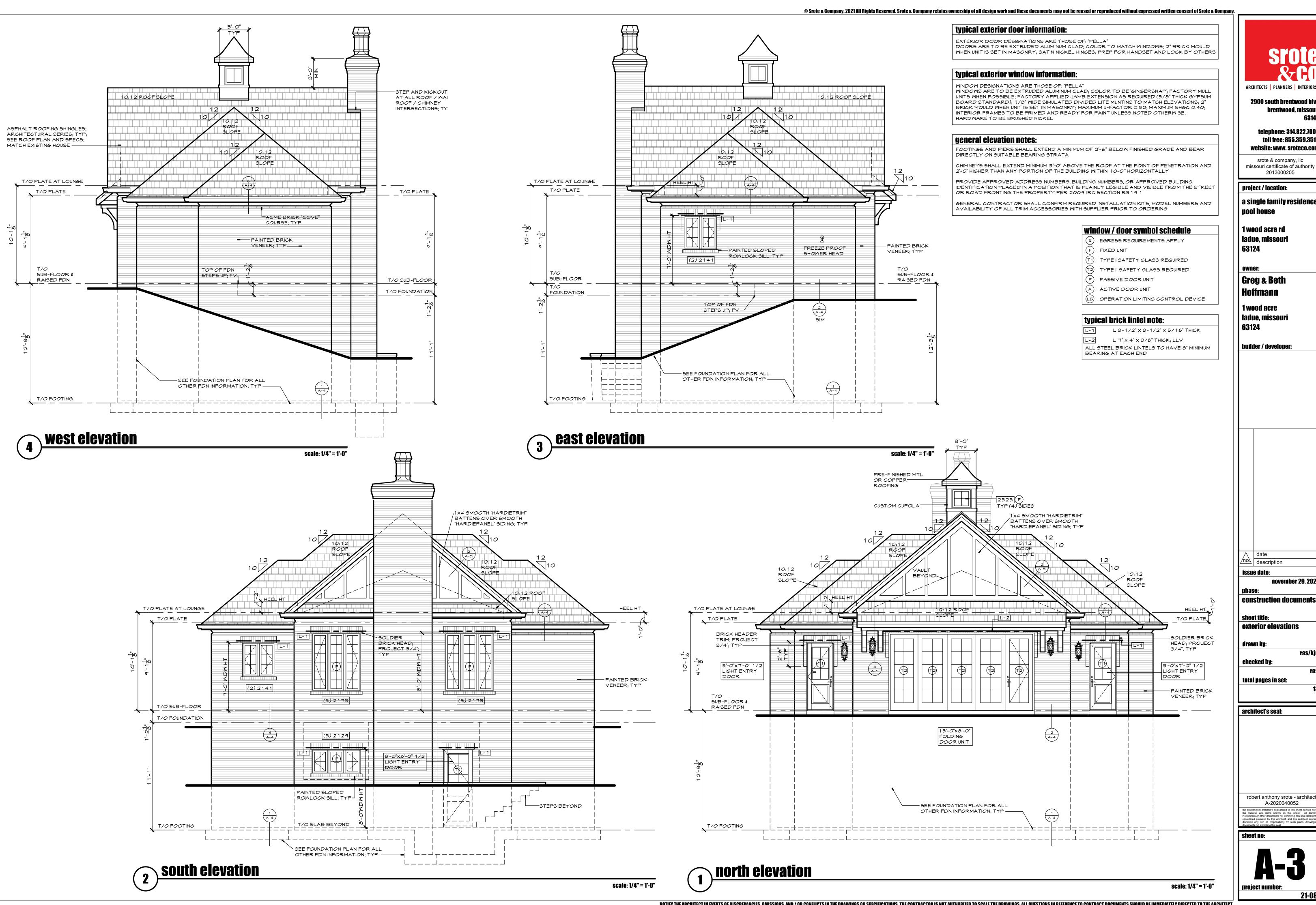
total pages in set:

architect's seal:

robert anthony srote - architect A-2020040052 truments or other documents not exhibiting this seal shall n nsidered prepared by this architect, and this architect expr claims any and all responsibility for such plans, drawing typeote net published this seal.

sheet no:

NOTIFY THE ARCHITECT IN EVENTS OF DISCREPANCIES, OMISSIONS, AND / OR CONFLICTS IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR IS NOT AUTHORIZED TO SCALE THE DRAWINGS. ALL QUESTIONS IN REFERENCE TO CONTRACT DOCUMENTS SHOULD BE IMMEDIATELY DIRECTED TO THE ARCHITECT.



ARCHITECTS | PLANNERS | INTERIORS 2900 south brentwood blvd

brentwood, missou

telephone: 314.822.7000 toll free: 855.359.3516 website: www. sroteco.com

project / location:

srote & company, llc

2013000205

a single family residence

1 wood acre rd

ladue, missouri 63124

1 wood acre ladue, missouri

description

november 29, 2021 construction documents

exterior elevations

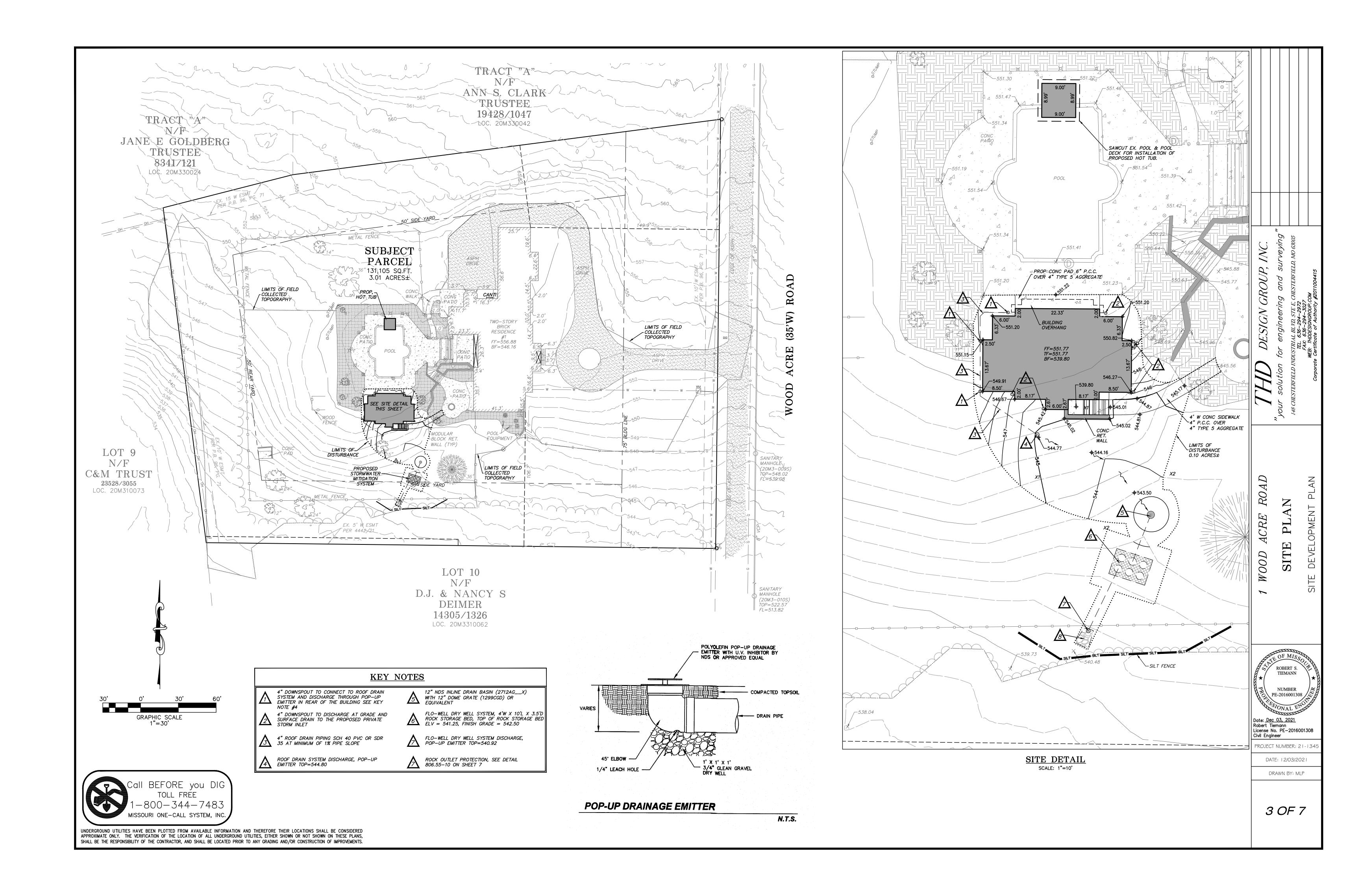
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property across the street



property to the left



subject property



subject property



subject property



subject property



subject property